

**CERTIFICATE OF APPROPRIATENESS**

**Application Date:** November 17, 2024

**Applicant:** David Jefferis, agent for Felix A. Eyzaguirre, owner

**Property:** 1314 Tulane Street, Lot 24. Tract 23, Block 174, Houston Heights Neighborhood Subdivision. The property includes a historic 1,238 square foot, one-story wood single-family residence and detached garage situated on a 6,600 square foot (50' x 132') interior lot.

**Significance:** Contributing Bungalow style residence, constructed circa 1920, located in the Houston Heights West Historic District.

**Proposal:** Alteration – Addition

- Addition:
  - o Removal of existing non-historic rear addition (338 sqft) and uncovered porch to expose original four corners of historic house (900 sqft to remain).
  - o New one-story addition (1,066 sqft) will be added to the rear of the house with an inset hyphen. The addition will have a bracket, U-shape floorplan with a side porch (60 sqft) on the north elevation and rear porch (104 sqft) at the east elevation.
  - o Side porch design will include steps (reduce in width from drawing configuration) and space for an ADA access ramp (see pg. 21-22 for options. Finalize with staff).
- Roof:
  - o Addition is to be topped by a hipped 7:12 roof with composition shingles.
- Siding:
  - o Siding on the addition is to be smooth, cementitious with a 4" reveal to differentiate between the historic and new.
- Windows:
  - o Windows are to be wood 1/1, inset and recessed (see Attachment A for window diagram). Fixed wood, inset and recessed windows are ok in select locations on addition only.

**Public Comment:** No public comment received.

**Civic Association:** No comment received.

**Recommendation: Approval with conditions: Side porch steps to be reduced in size and not span full width of side porch. Finalize side porch/ramp design with staff.**

**HAHC Action: -**

**\*\*staff report is subject to change before final\*\***

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- (1) The proposed activity must retain and preserve the historical character of the property;
(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
(7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;
(10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
(11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.

**HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS**

**S D NA**

S - satisfies D - does not satisfy NA - not applicable

Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 6,600  
 Max. Allowed: 2,640  
 Proposed Lot Coverage: 2,038  
 Remaining Amount: 602

Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

Existing Lot Size: 6,600  
 Max. FAR Allowed: 2,904  
 Proposed FAR: 2,038  
 Remaining Amount: 866

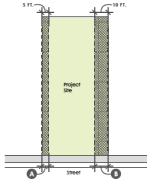
Side Wall Length and Insets (Addition and New Construction)

MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

Side Wall Length: 38' 8"  
 Inset Length: 6'  
 Inset on North side: 6'  
 Inset on South side: 6'



**Side Setbacks (Addition and New Construction)**



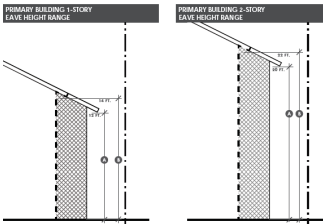
KEY	MEASUREMENT	APPLICATION
⊖	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
⊖	5 FT.	Minimum distance between the side wall and the property line
⊖	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
⊖	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
⊖	10 FT.	Minimum cumulative side setback for a one-story house
⊖	15 FT.	Minimum cumulative side setback for a two-story house

Note: This diagram shows just one example of a side setback configuration.

Proposed side setback (1): 5'- 1"  
 Proposed side setback (2): 5' - 1"  
 Cumulative side setback: 10'- 2"



**Eave Height (Addition and New Construction)**



KEY	MEASUREMENT	APPLICATION
⊖	12 FT.	Maximum 1-story eave height at the 5 FT. minimum side setback
⊖	14 FT.	Maximum 1-story eave height at 7 FT. or greater side setback
⊖	20 FT.	Maximum 2-story eave height at the 5 FT. minimum side setback
⊖	22 FT.	Maximum 2-story eave height at 7 FT. or greater side setback

Proposed eave height: 11' – 5 1/2"



**Rear Setbacks (Addition and New Construction)**

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.

Proposed rear setback: 28' – 5 3/4"

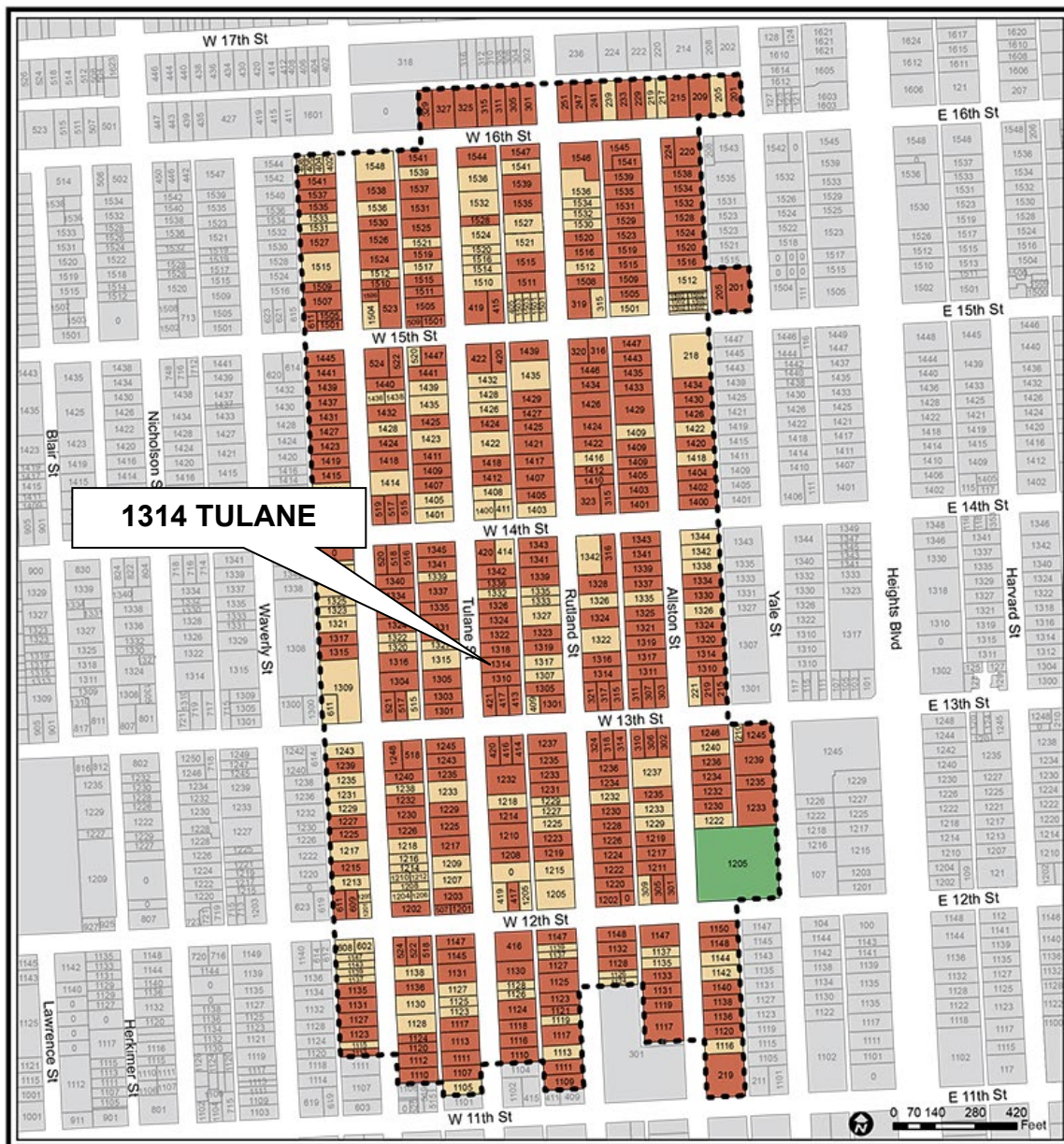


**Building Wall (Plate) Height (Addition and New Construction)**

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at the front of the structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

Proposed finished floor: 36"  
 Proposed first floor plate height: 9' – 4 1/2"

DISTRICT MAP



Houston Heights West Historic District

Historic District Boundary

Building Classification

- Contributing
- Non-Contributing
- Park

Established: December 19, 2007  
 Source: GIS Services Division  
 Date: May 1, 2013  
 Reference: pj17025\_Heights\_West

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



**PLANNING & DEVELOPMENT DEPARTMENT**

**INVENTORY PHOTO**



**CURRENT PHOTO**

**WEST (FRONT) ELEVATION**



HISTORIC DOCUMENTATION

1924 SANBORN



1933 BLA

Form 500 **182** INVESTIGATE

Map \_\_\_\_\_

Vol. 20 \_\_\_\_\_ 4/3/38

Page 170 \_\_\_\_\_

Jan. 27th. 1933. . 19

Stanley, Mrs. W. W. \_\_\_\_\_ Owner

Lot 24-1-23 \_\_\_\_\_ Block 174 \_\_\_\_\_

No. Heights. \_\_\_\_\_ Addition \_\_\_\_\_

REMARKS: *Frame Shingles*  
*28 x 36 = 1008 x 144*  
*667-66 - 600ml*

County Value..... \$ 540 *540*

Owners Value..... \$ 440

No. 1314 \_\_\_\_\_ Street *Tulane*

N

	14	
W	16	E
	17	
	18	
	19	
	13	
	S	

*Tulane*

BLA DATE UNKNOWN

Map No. _____ Addition <u>Houston Hts.</u>	No. Sq. Ft. <u>984</u>	Price Per Sq. Ft. <u>170</u>	\$ <u>1680</u>														
Block <u>174</u> Lot <u>24-1/2-23</u>	<table border="1"> <tr><td></td><td>Percent Good</td></tr> <tr><td></td><td>60</td></tr> <tr><td></td><td>1010</td></tr> <tr><td></td><td>Other Bldgs.</td></tr> <tr><td></td><td><u>1020</u></td></tr> <tr><td></td><td>Total All Bldgs.</td></tr> <tr><td></td><td>1030</td></tr> </table>				Percent Good		60		1010		Other Bldgs.		<u>1020</u>		Total All Bldgs.		1030
	Percent Good																
	60																
	1010																
	Other Bldgs.																
	<u>1020</u>																
	Total All Bldgs.																
	1030																
OWNER <u>Stanley, Mrs. W. W.</u>	<table border="1"> <tr><th colspan="2">LAND VALUE</th></tr> <tr><td>Front x Depth</td><td>Unit Value Factor</td></tr> <tr><td><u>50 x 132 @ 10</u></td><td></td></tr> <tr><td></td><td><u>560</u></td></tr> <tr><td colspan="2">TOTAL</td></tr> <tr><td></td><td><u>220-490</u></td></tr> </table>			LAND VALUE		Front x Depth	Unit Value Factor	<u>50 x 132 @ 10</u>			<u>560</u>	TOTAL			<u>220-490</u>		
LAND VALUE																	
Front x Depth	Unit Value Factor																
<u>50 x 132 @ 10</u>																	
	<u>560</u>																
TOTAL																	
	<u>220-490</u>																
ADDRESS <u>1314 Tulane St</u>																	
TYPE OF PROPERTY <u>Res</u> OCCUPIED VACANT																	
BASEMENT, Whole Part	FLOORING, Pine, Hardwood, Cement, Tile, Marble, Dirt																
FOUNDATION, Concrete, Stone, Brick, Piers, Posts.	INTERIOR TRIM, Plaster, Hardwood, Marble, Metal, Built-in Features																
WALLS, Brick, Stone, Hollow Tile, Stucco, Metal, Concrete Blocks, Box Weatherboard.	HEATING, Furnace, Stoves, Fireplace, Chimneys, Gas																
ROOF CONS., Concrete, Steel, Wood Truss.	LIGHTING, Electricity																
ROOF, Hip, Gable, Mansard, Flat.	PLUMBING, Sewer, Water, Baths																
ROOFING, Composition, Metal, Slate, Wood, Shingles, Tile, Asbestos.	ELEVATORS																
EXTERIOR TRIM, Stone, Terra Cotta, Metal, Wood, Marble, Granite	CONDITION, Good, Fair, Bad, Obsolete																
PERMIT DATE _____ NO. _____ AMT. _____																	

1957-1958 BLA

Harris County  
BUILDING ASSESSMENT  
Houston, Texas 226252809

Vol. 20 Page 170-0-23 Permit No. city  
Inspector \_\_\_\_\_  
Date \_\_\_\_\_ 19\_\_\_\_

Owner \_\_\_\_\_  
No. 1314 Tulane Street  
Survey or Addition Houston Heights  
Abst. \_\_\_\_\_ Lot or Tr. 24-1/2-23 Bk. 174  
Type Residential 1048 Commercial \_\_\_\_\_  
Ind. Shingles Industrial \_\_\_\_\_ Pre-Fab \_\_\_\_\_

Exterior: as shingles Permafene - Rock - Brick Veneer - Frame - Stucco - Concrete Tile - Claytile - Cedar Shakes - Composition - Shingle - Redwood.  
Interior: as shingles Sheetrock - Plastered - Paneled - Cellotex - Plywood - None.  
Floors: as shingles Oak - Plywood - Cement - Tile - Pine - Asrock - Higgins - Terrazo - None.  
Roofing: as shingles Shingle - Asbestos - Terra-Cotta - Tile - Composition - Slate - Copper - C-Iron, Tar and Gravel.  
Foundation: Concrete Slab - Piers - Blocks, Beams - Brick - Piers-Wood.  
Plumbing: as shingles 2 Tile - 3 Tile - Other: None.  
Climateers: Dual. Temp. Ac - Fans, Attic Ventilation - Central Heat Unit - Gas Stoves - None.  
Electrical Equipment: Part - All - Sprinklers.  
Condition: New - Good - Fair - Poor - Obsolete.

Permit Val. 190  
Year Built \_\_\_\_\_  
Remarks 910 @ 210 = 1910  
80 @ 50 = 4000  
80 @ 100 = 8000  
2140 @ 35% = 1390  
gar 208 @ 50 = 100 " 35% = 60

Moved here \_\_\_\_\_ From 1450  
No. Sq. Ft. 319.57 Per Sq. Ft. \_\_\_\_\_  
No. Sq. Ft. \_\_\_\_\_ Per Sq. Ft. \_\_\_\_\_  
1958 receipt Assessed Value of Building 580  
Stanley, Mrs. Th. Th.



1967 BLA

CITY OF HOUSTON, HARRIS COUNTY BUILDING ASSESSMENT

Map No. 9A Acct. No. 49-41-0-16

Permit No. RV Date 11-22-67

Owner Stanley, W. W.

Street No. 1314 Tulane

Addition Hou Htz Section \_\_\_\_\_

Lot No. FR 45 Block No. 174

LT 24: 4/2 of 2.3 in 48

No. Stories	ROOF TYPE	INTERIOR	EXTRA FEATURES
<input checked="" type="checkbox"/> Single Family	<input checked="" type="checkbox"/> Gable	<input checked="" type="checkbox"/> Lvl & Paper	<input checked="" type="checkbox"/> Finished Attic
<input type="checkbox"/> Duplex	<input type="checkbox"/> Hip	<input type="checkbox"/> Sheetrock	<input type="checkbox"/> Basement
<input type="checkbox"/> Garage Apt.	<input type="checkbox"/> Flat	<input type="checkbox"/> Wood Panels	<input type="checkbox"/> CARPORT
FOUNDATION		ROOFING	
<input type="checkbox"/> Concrete Slab	<input type="checkbox"/> Wood Shingles	<input type="checkbox"/> Plaster	<input type="checkbox"/> Roof
<input type="checkbox"/> Beam & Piers	<input type="checkbox"/> Comp. Shingles	<input type="checkbox"/> 2 No. Bedrooms	<input type="checkbox"/> Floor
<input type="checkbox"/> Concr. Blks.	<input type="checkbox"/> Tar & Gravel	<input type="checkbox"/> 1 No. Baths	<input type="checkbox"/> DE GARAGE
EXTERIOR WALLS		FLOORING	
<input type="checkbox"/> Brick Veneer	<input type="checkbox"/> Pine	<input type="checkbox"/> HEATING & COOLING	<input type="checkbox"/> comp
<input type="checkbox"/> Stone Veneer	<input type="checkbox"/> Hardwood	<input type="checkbox"/> A/C, c/N or Dual	<input type="checkbox"/> Floor
<input checked="" type="checkbox"/> Lumber	<input type="checkbox"/> Asphalt Tile	<input type="checkbox"/> wdw	<input type="checkbox"/> DIRT
<input type="checkbox"/> Shakes	<input type="checkbox"/> Mow Carpets	<input type="checkbox"/> No. Fireplaces	<input type="checkbox"/> Mbbled
		<input type="checkbox"/> wdw	<input type="checkbox"/> Doors

CLASS 12 (Base Unit \$ 4.10)  
 (No. of Units \$ 22)  
 (Total Unit \$ 4.10)

EXISTING ASSESSMENTS ON BLOCK BOOK

Land - Assmt. \$ 540

Impr. - Assmt. \$ 1120

PERMIT VALUE \$ \_\_\_\_\_

Rendered in case of same

COUNTY ACCOUNT NO.				
SEQUENCING	VOL.	PAGE	SUR.	ITEM
<u>263538</u>	<u>20</u>	<u>178</u>	<u>33</u>	<u>UB</u>
<u>re-val RC</u>				
<u>-90</u>				
<u>1968</u> DATE				
<u>490</u> VALUE				
NEW OWNER				
<u>Stanley, Mrs W.W.</u>				

49
2
600
28
180
208

EXCLUDING APPRAISALS, if any -			
100% Value - without Depreciation	\$		
Dep. - Pr. 25% PAID	\$		
NEW APPRAISALS			
Ass 910	area 4.10	\$	3730
op 156	1.10		170
SP 144	2.30		330
Gar 208	1.20		250
100% Value			4480
Ass 65% Op			2070
New 100% Value			2460
TOTAL VALUE \$ <u>2460</u>			

Appraiser's name & date Blair 11-22-67

FOR 39 68 106 \$ 980 = city school

60% 1300

C. 20% - 490

1976-1978 BLA

CITY OF HOUSTON HARRIS COUNTY BUILDING ASSESSMENT  
ACN 049-041-00-016-4

OWNER: GARZA VALDEMAR G  
ADDRESS: TR 45 LOT 24 HLF OF 23 BLK 174  
DESCRIP: HOUSTON HTS

LAND VALUE: 2060  
IMPROVEMENTS: 2450 *AV9*

COUNTY ACCOUNT NO.				
SEQUENCE NO.	VOL.	PG.	SUB.	ITEM
	20	170	0	23

*revalued*  
*1978* DATE *AV9* VALUE *2860*

NEW OWNER

No. Stories	FOUNDATION	ROOF TYPE	GARAGE
Sngl. Family	Concr. Slab	Gable	Walls
Duplex	Beam & Piers	Hipped	Roof
Gar. Apt	Concr. Blks	Flat	Floor
Fnshd Attic			Celled
Basement	FLOORING	ROOFING	Doors
SIDING	Pine	Wd. Shngls	
Brick V.	Hardwood	Comp. Shgs	
Stone V.	Torrazzo	Tar & Gravel	CARPORT
Asbestos	Vinyl		Roof
Shakes	WtoW Cpts	INTERIOR FNSH.	Floor
Lumber		S/L & Paper	
	HEATING & COOLING	Sheetrock	
No. Bdrms	A/C/C/H, Dual	Wd. Panels	
No. Baths		Plaster	
No. P'places			

Permit 049-041-00-016-4 1977 01/24/77 I  
3580 250.00 8950 53%

Impr. \$  
Rendered in name of

MARKET VALUE 100%  
3580  
(FROM REVERSE)

APPRaiser CODE DATE  
35 12/7/76

TRANSMITTED  
DATE DEC 09 1976  
V

CONTEXT AREA



**CURRENT PHOTOS**

**WEST (FRONT) ELEVATION**



**SOUTHWEST (FRONT/RIGHT) CORNER**



NORTHWEST (FRONT/LEFT) CORNER



NORTHEAST (REAR/RIGHT) CORNER



SOUTHEAST (REAR/LEFT) CORNER



REAR GARAGE SOUTH ELEVATION (SEPARATE APPLICATION)

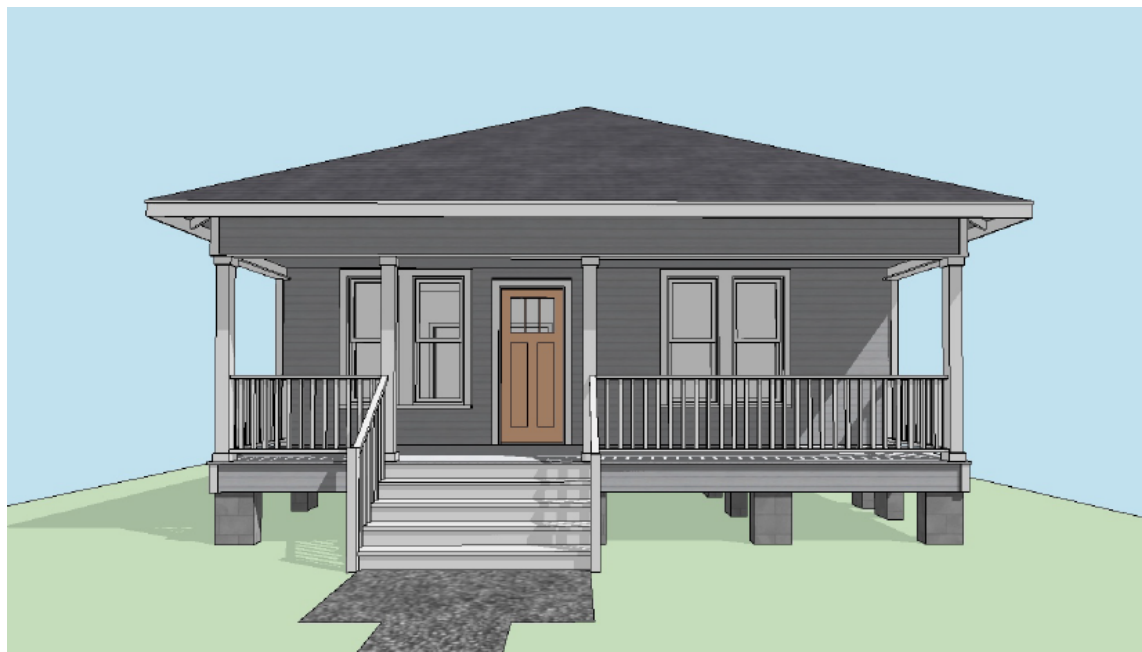


REAR GARAGE WEST (FRONT) ELEVATION (SEPARATE APPLICATION)

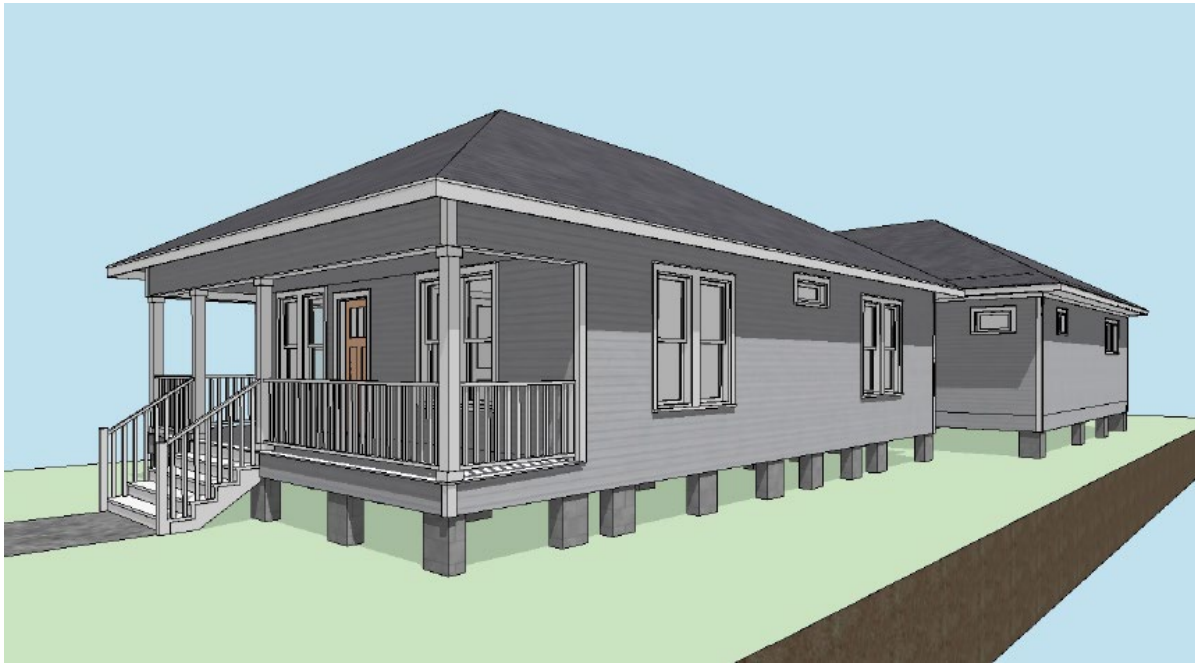


3D MODELS

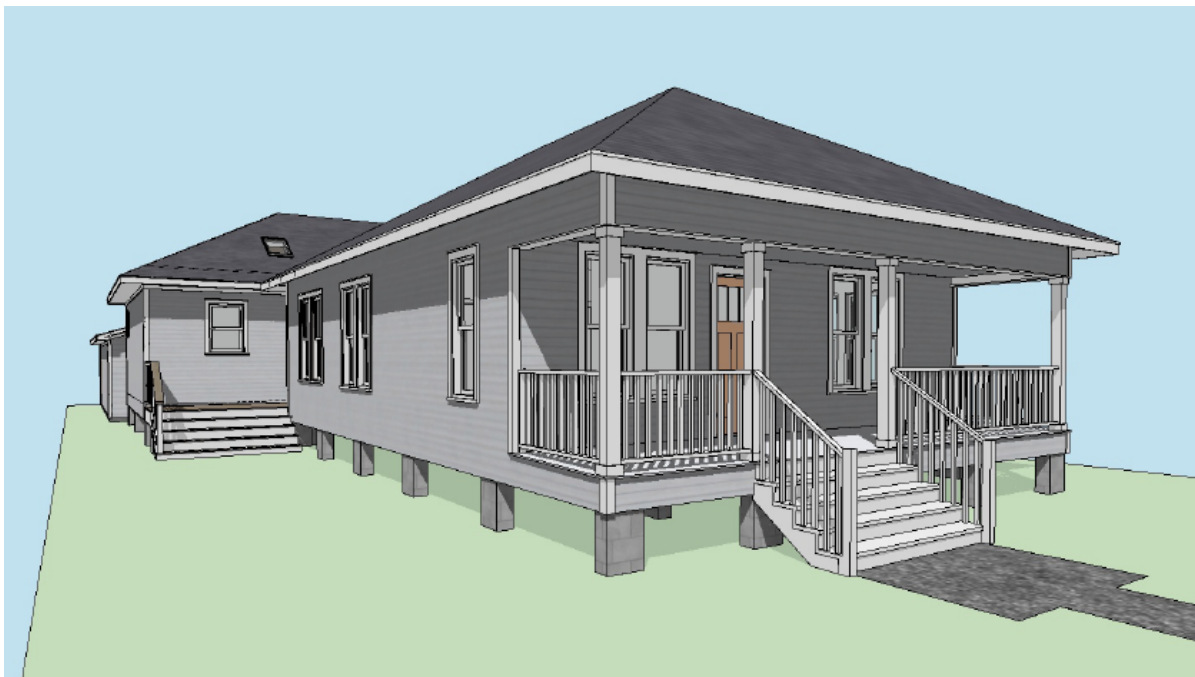
WEST (FRONT) ELEVATION



SOUTHWEST (FRONT/RIGHT) CORNER

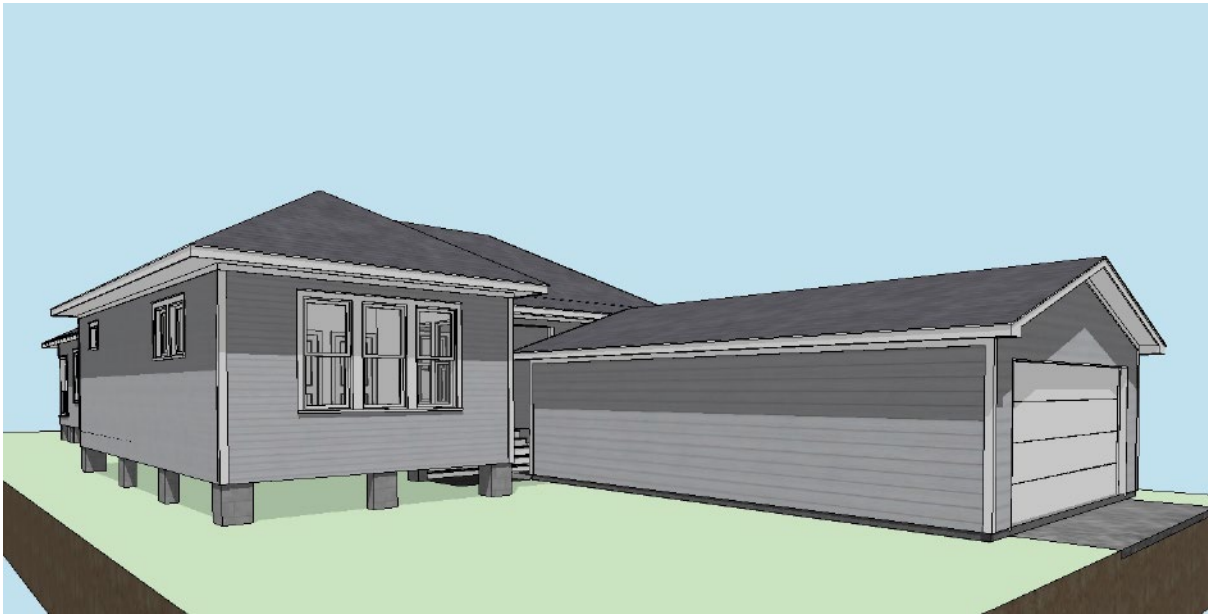


NORTHWEST (FRONT/LEFT) CORNER





SOUTHEAST (REAR/LEFT) CORNER



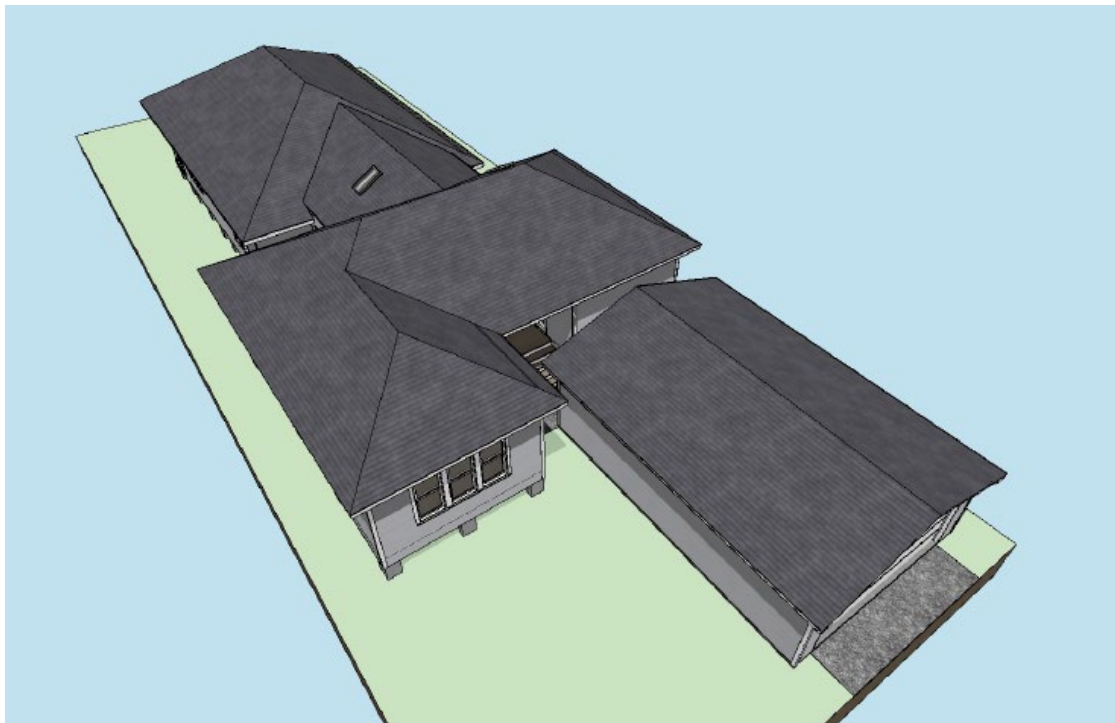
NORTH (LEFT) ELEVATION – SIDE LANDING



AERIAL VIEW – FRONT TO REAR

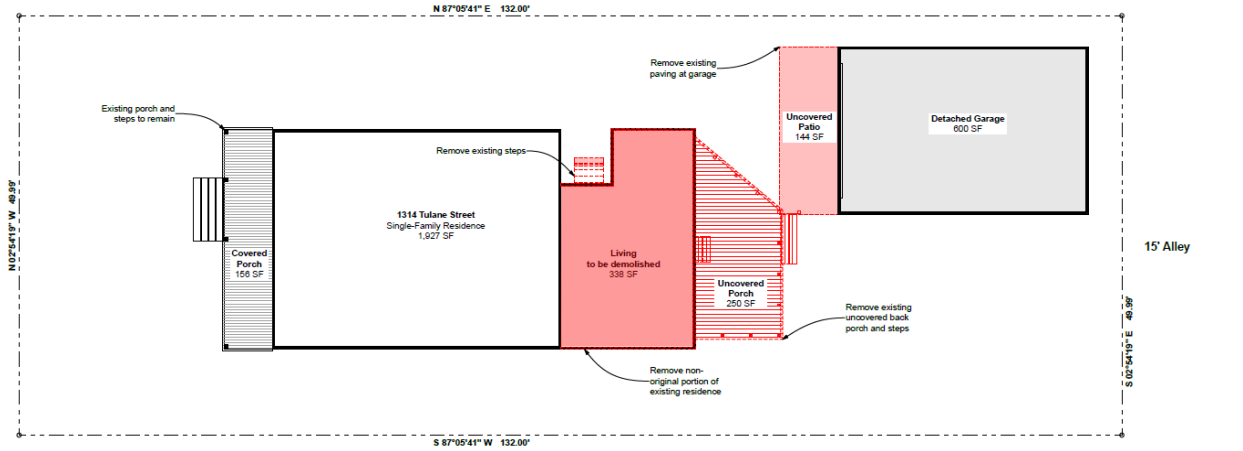


AERIAL VIEW – REAR TO FRONT

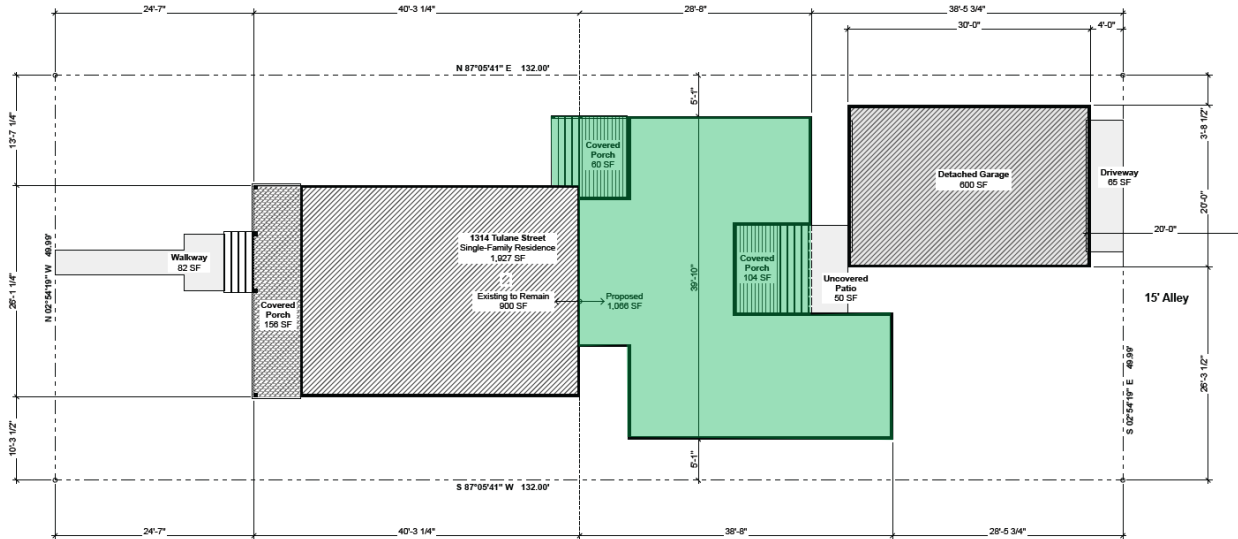


### SITE PLAN

### EXISTING

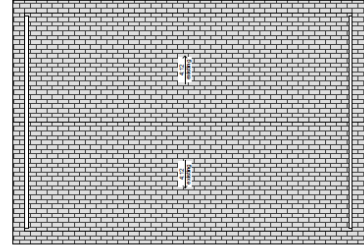
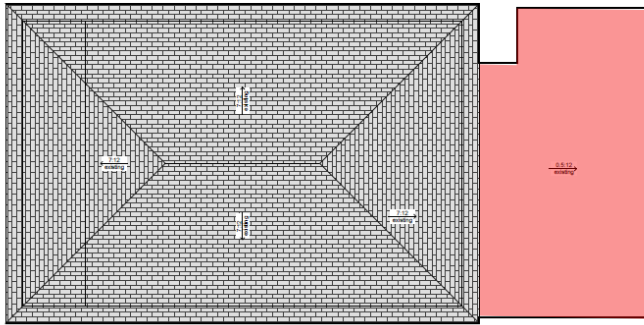


### PROPOSED

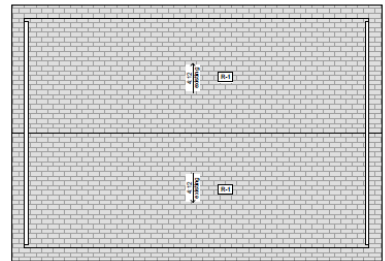
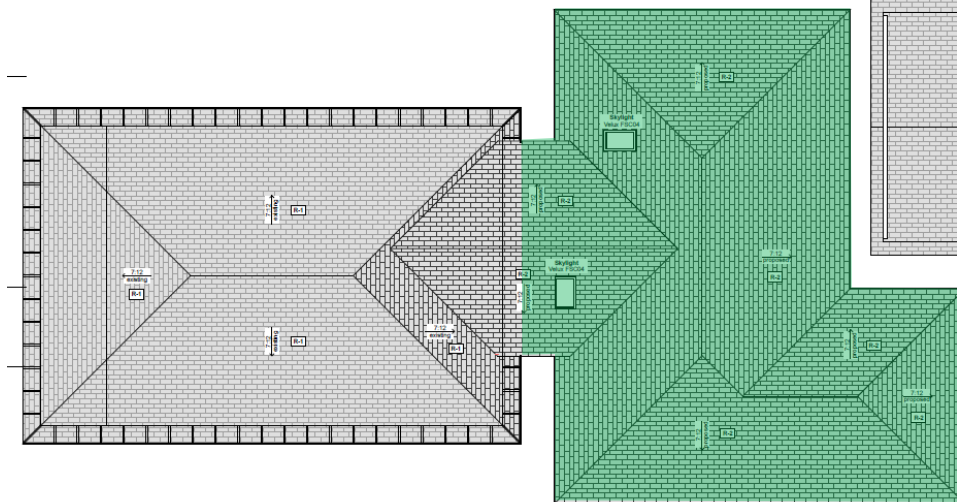


ROOF PLAN

EXISTING

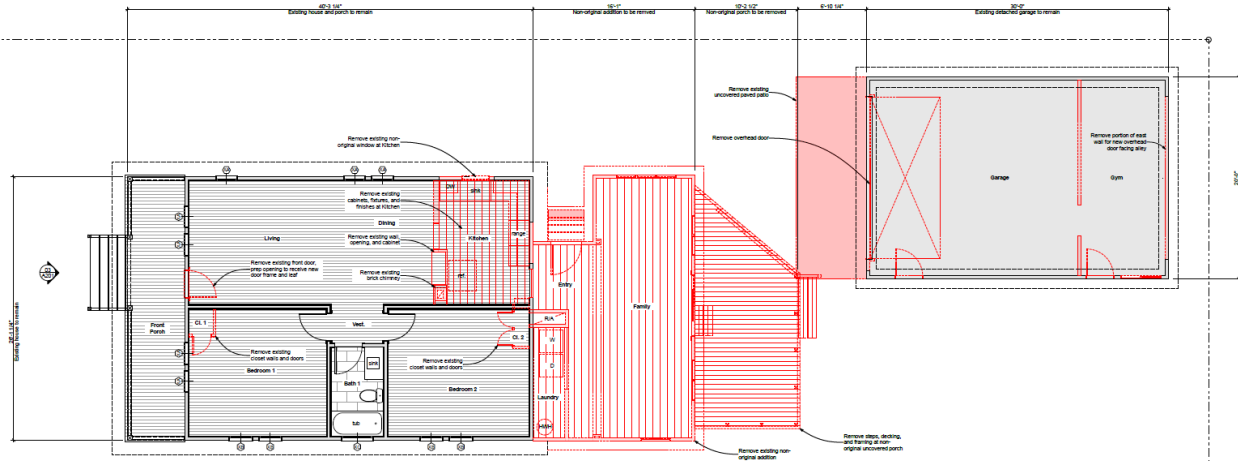


PROPOSED

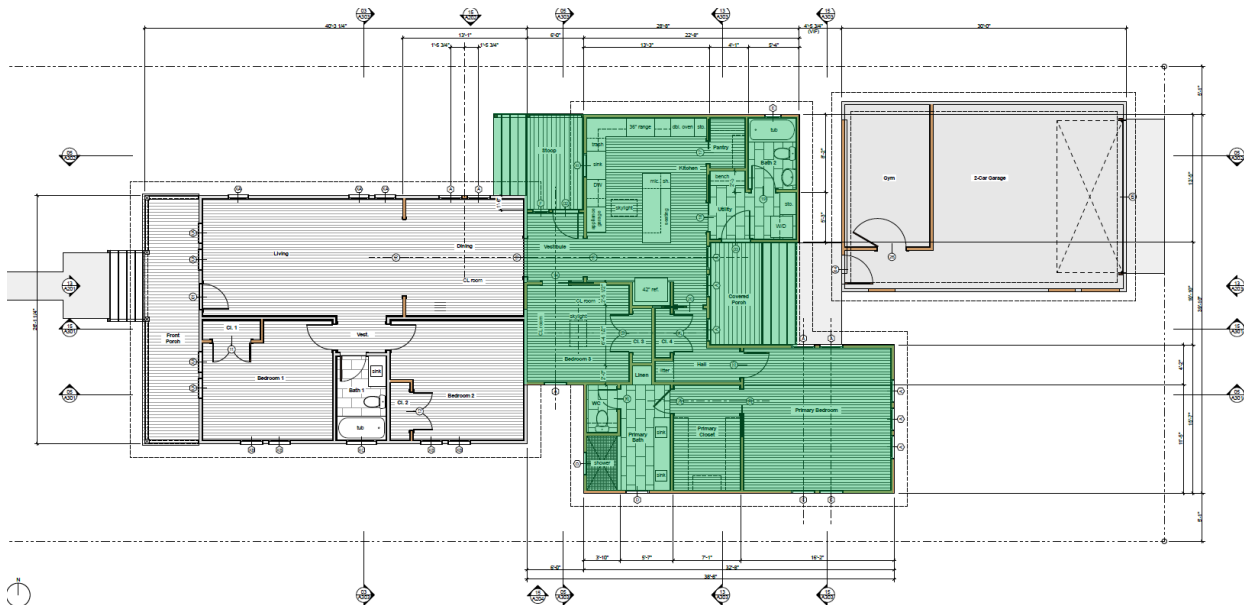


**FLOOR PLAN – OPTION 1 (NO RAMP, SIDE STAIRS TO BE REDUCED IN WIDTH)**

**EXISTING**



**PROPOSED**



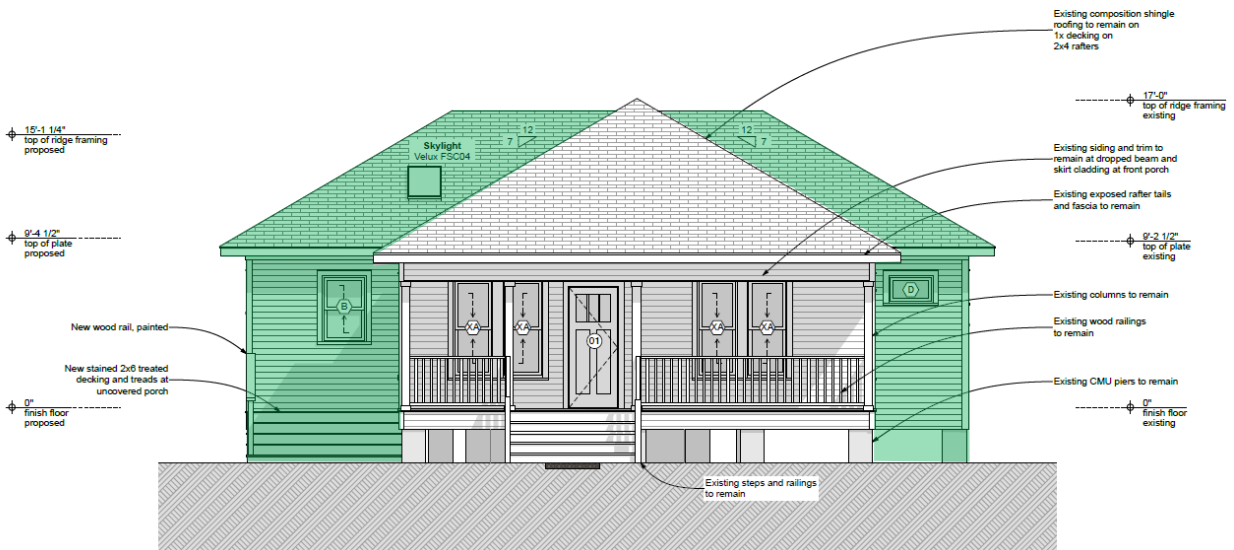


WEST (FRONT) ELEVATION

EXISTING



PROPOSED



EAST (REAR) ELEVATION

EXISTING



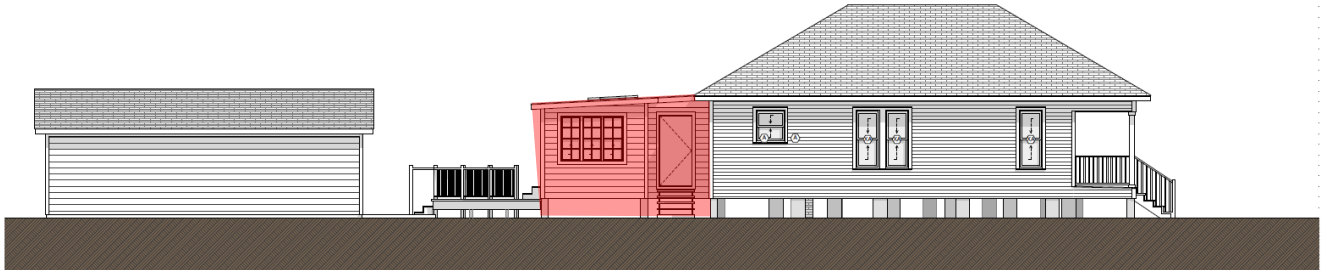
PROPOSED



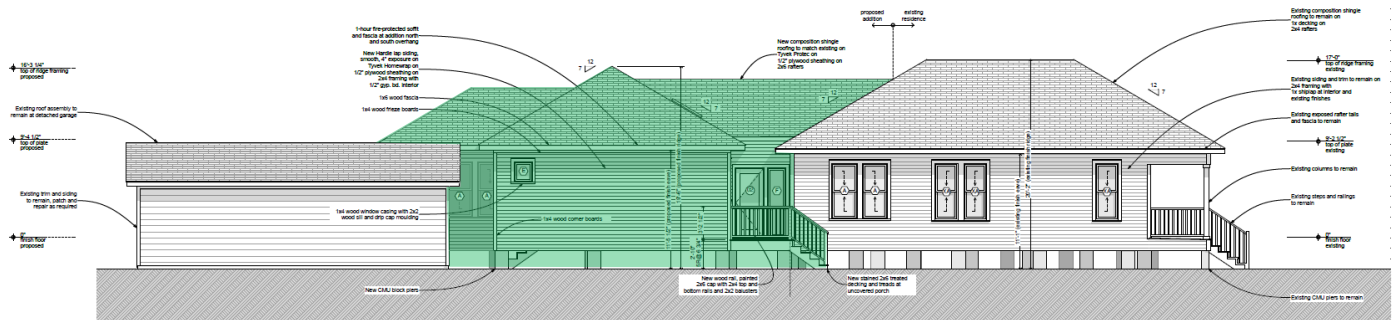


NORTH (LEFT) ELEVATION

EXISTING

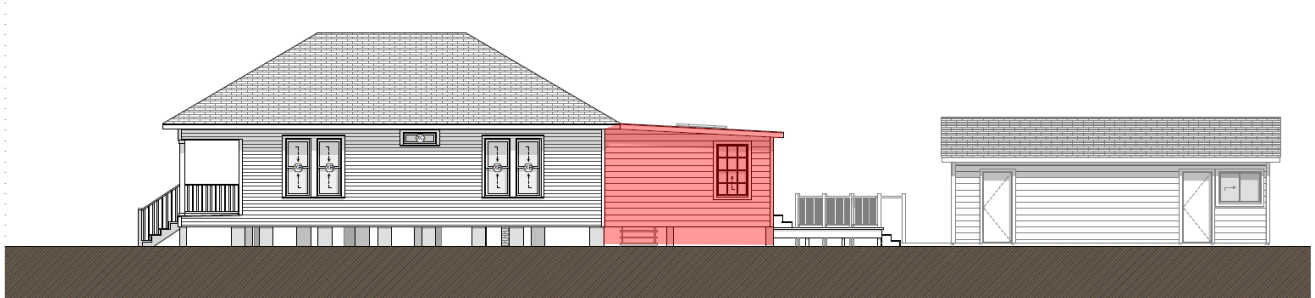


PROPOSED

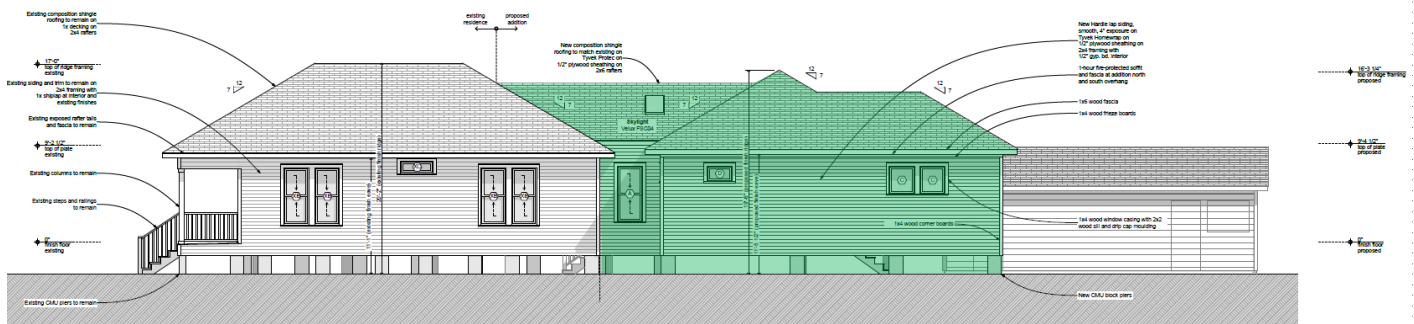


SOUTH (RIGHT) ELEVATION

EXISTING



PROPOSED



WINDOW WORKSHEET

CERTIFICATE OF APPROPRIATENESS

WINDOW WORKSHEET



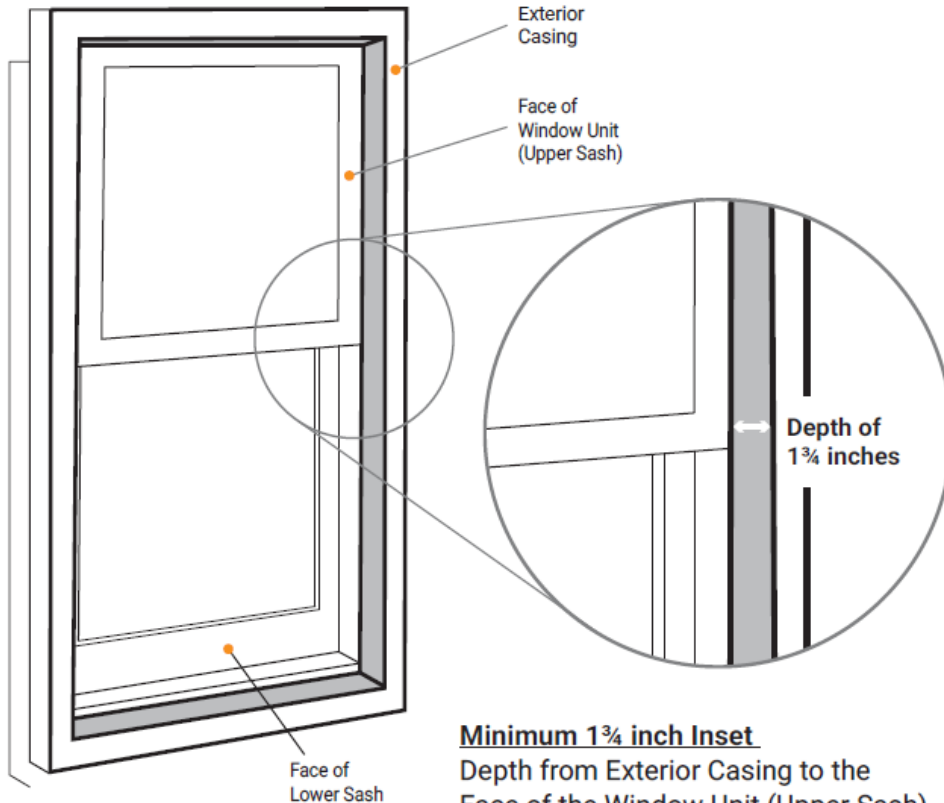
PLANNING & DEVELOPMENT DEPARTMENT

EXISTING WINDOW SCHEDULE							
Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Original/Replacement	Existing to Remain
<i>Ex. A1</i>	<i>Wood</i>	<i>1/1</i>	<i>DH</i>	<i>32 x 66</i>	<i>Recessed</i>	<i>Original</i>	<i>No</i>
XA	wood	1/1	DH		recessed	replacement	yes
XB	wood	1/1	DH		recessed	replacement	yes
XC	vinyl	1/1	fixed	3'-2" x 1'-2"	recessed	replacement	yes
	wood	1/1	DH		recessed	replacement	no
		various		various	no	replacement	no

DAMAGE TO EXISTING WINDOWS	
Window	Describe Damage
<i>Ex. A1</i>	<i>Glass is broke, window is inoperable, rail is rotten, and frame is broken</i>

PROPOSED WINDOW SCHEDULE							
Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Brand/Vendor	Other
<i>Ex. A1</i>	<i>Wood</i>	<i>1/1</i>	<i>DH</i>	<i>32 x 66</i>	<i>Recessed</i>	<i>Plygem</i>	
A	wood	1/1	DH		recessed		
B	wood	1/1	DH		recessed		
C	wood	1/1	fixed		recessed		
D	wood	1/1	fixed		recessed		
E	wood	1/1	fixed		recessed		
F	wood	1/1	fixed		recessed		

ATTACHMENT A – WINDOW INSET RECESSED DIAGRAM



**Minimum 1 3/4 inch Inset**  
Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)

Windows must be 1-over-1  
(equally horizontally divided)

1 3/4 inch minimum inset for Fixed Window

**For more information contact:**  
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